

ATTLEBORO PUBLIC LIBRARY

BUILDING ENVELOPE REPAIR & MECHANICAL SYSTEM UPGRADE

Attleboro, MA

DRAWING LIST

ARCHITECTURAL

- G000 COVER
G001 SITE PLAN AND WORK AREA
G002 PHASING PLANS
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D102 SECOND FLOOR DEMOLITION PLAN
D103 THIRD FLOOR DEMOLITION PLAN
D104 FOURTH FLOOR DEMOLITION PLAN
D105 ROOF DEMOLITION PLAN
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A102 SECOND FLOOR PLAN
A103 THIRD FLOOR PLAN
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A105 ROOF PLAN
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A112 SECOND FLOOR REFLECTED CEILING PLAN
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A813 WINDOW DETAILS
A820 DOOR DETAILS

STRUCTURAL

- S001 GENERAL NOTES
S001 LOW ROOF AND ROOF FRAMING PLAN

HVAC

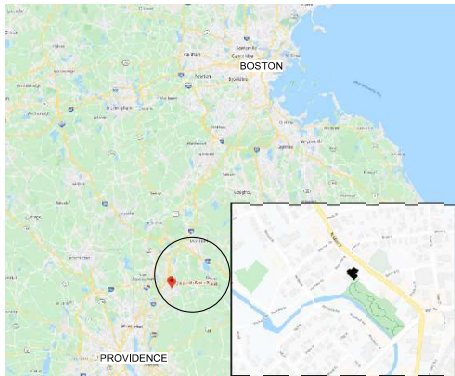
- H101 HVAC FIRST FLOOR PLAN
HP101 HVAC PIPING FIRST FLOOR PLAN
H102 HVAC SECOND FLOOR PLAN
H103 HVAC THIRD FLOOR PLAN
H104 HVAC FOURTH FLOOR PLAN
HP104 HVAC PIPING FOURTH FLOOR PLAN
H105 HVAC ROOF PLAN
HD101 HVAC FIRST FLOOR DEMO PLAN
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HD103 HVAC THIRD FLOOR DEMO PLAN
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ELECTRICAL

- E000 ELECTRICAL LEGEND AND DETAILS
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E102 ELECTRICAL SECOND FLOOR PLAN
E103 ELECTRICAL THIRD FLOOR PLAN
E104 ELECTRICAL FOURTH FLOOR PLAN
E105 ELECTRICAL ROOF PLAN
E200 ELECTRICAL DETAILS

PLUMBING

- P104 PLUMBING FOURTH FLOOR AND BASEMENT PLAN
P105 PLUMBING ROOF PLAN



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PROJECT NAME
**Attleboro Public Library
Building Envelope Repair &
Mechanical System Upgrade**

74 North Main Street,
Attleboro, MA 02703

CLIENT

City of Attleboro

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77 West Street, Attleboro, MA 02703

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REVISIONS

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DRAWING TITLE

COVER

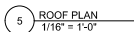
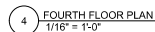
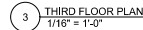
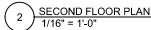
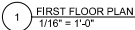
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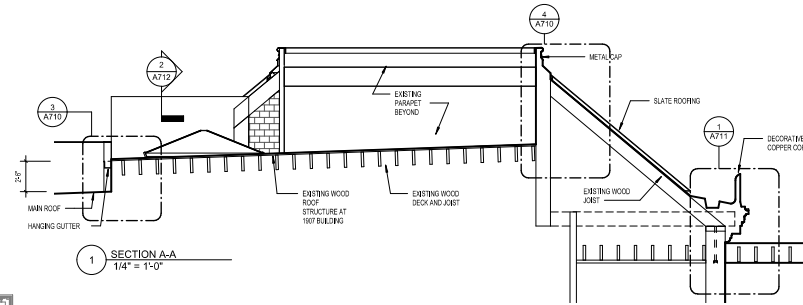
DATE: 01/21/2020
DRAWN BY: [Redacted]
100% Construction Documents
DESIGNED BY: [Redacted]
SCALE: 1/8" = 1'-0"
PROJECT NO: 2019-001
PROJECT NAME: Attleboro Public Library

DRAWING NUMBER

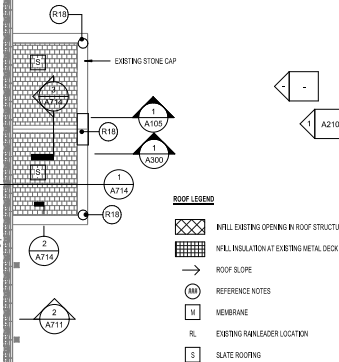
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CONTRACTOR TO VERIFY THE COURSEING OF ROOF TILES PRIOR TO REMOVAL.



ROOF LEGEND

- INFILL EXISTING OPENING IN ROOF STRUCTURE
- INFILL INSULATION AT EXISTING METAL DECK
- ROOF SLOPE
- REFERENCE NOTES
- MEMBRANE
- EXISTING RAINLEADER LOCATION
- SLATE ROOFING

REFERENCE NOTES - ROOF

- R1 EXISTING FAN WITH FLASHINGS AT CURBS TO REMAIN.
- R2 EXISTING SMOKE EVACUATION VENT WITH FLASHINGS AT CURBS TO REMAIN.
- R3 EXISTING CURBS FOR MECHANICAL EQUIPMENT TO REMAIN. THEY GET NEW EQUIPMENT IN SAME LOCATION. PROVIDE REPAIRS AT FLASHINGS. EQUIPMENT WILL REMOVE EXISTING OPENINGS IN ROOF. BOX SHOWS GENERAL OUTLINE OF EXISTING CURBS.
- R4 NEW CURB. REFERENCE STRUCTURAL FOR ADDED STRUCTURAL BEAM.
- R5 PROVIDE OPENINGS IN ROOF FOR NEW DUCTS DOWN. PROVIDE CURBS AND FLASHINGS. DASHED LINES REPRESENT DUCTS THAT WILL BE ABOVE EXISTING ROOFING. SEE MECHANICAL DRAWINGS FOR DUCT SIZES.
- R6 EXISTING ACCESS HATCH TO REMAIN.
- R7 IMPROVE SKYLIGHT TO MATCH EXISTING. EXISTING CURB TO REMAIN. PROVIDE INCREASED CURB HEIGHT AND FLASHINGS FOR NEW SKYLIGHTS.
- R8 LOCATION OF EXISTING MECHANICAL EQUIPMENT THAT IS BEING REMOVED. LOCATION INCLUDES OPENINGS FOR DUCTS. THIS OPENING MAY OR MAY NOT BE REUSED FOR NEW PIPING. ASSUME OPENING IS TO BE FILLED. CURBS COVERED OVER WITH PLYWOOD AND ROOFING TO MAKE WATERPROOF AND TO SHOW OUTLINE OF EXISTING EQUIPMENT.
- R9 LOCATION OF EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. THIS LOCATION HAS NO EXISTING OPENING FOR DUCTS THROUGH ROOF. REPAIR ROOFING AT CURB WHERE EQUIPMENT IS REMOVED BY ADDING NEW INSULATION OVER EXISTING METAL DECK.
- R10 EXISTING VENT PIPE AND FLASHING TO REMAIN.
- R11 EXISTING LADDER FROM MAIN TO SOUTH ROOF TO REMAIN.
- R12 PROVIDE SLOPED PLYWOOD SUBSTRATE AND ROOFING AT EXISTING ELEVATOR OVERLAP ENCLOSURE ROOF. NOTE EXISTING STEPPED ROOF HOLDS WATER.

GENERAL NOTE - ROOF PLAN

101. SOME EXISTING ROOF MATERIALS AND ELEMENTS ARE TO REMAIN. PROTECT ALL ITEMS TO REMAIN. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITY AND LACK OF PROTECTION.

102. THESE DRAWINGS ARE BASED ON PREVIOUS DRAWINGS AND SOME LIMITED FIELD MEASUREMENTS. AND THEIR MAY NOT BE EXACTLY TO SCALE. CONTRACTOR MUST FIELD VERIFY DIMENSIONS THAT ARE NEEDED FOR SHOP DRAWINGS AND PROVIDING DETAILS SHOWN. THIS INCLUDES DOCUMENTING SOME DETAILS IN ADVANCE OF CONSTRUCTION.

103. THE INTENT OF THE DRAWINGS IS TO SHOW EXISTING V. NEW ELEMENTS. THE CONTRACTOR TO ASSUME ELEMENTS ARE NEW UNLESS LABELED AS EXISTING.

103. GENERAL SCOPE

MECHANICAL
EXISTING TWO ASSEMBLY REPAIR AREAS WHERE MECHANICAL EQUIPMENT WORK IS DONE AND OTHER LOCATIONS AS NOTED. THIS INCLUDES AREAS OF EXISTING LEAVES, SKYLIGHT TO MATCH EXISTING, ON RAISED CURBS
GUTTER AND LEADERS TO MATCH EXISTING
MECHANICAL EQUIPMENT (HEAT PUMPS) WILL ALSO BE SET ON THIS EXISTING ROOF. LOCATIONS TO BE DETERMINED. SEE MECHANICAL DRAWINGS. THIS EQUIPMENT DOES NOT REQUIRE ROOF WORK.

NORTH ROOF

THREE ASSEMBLY OVER EXISTING CONCRETE DECK
THREE INSULATION TO MATCH EXISTING SLOPES. CONTRACTOR TO VERIFY SLOPES IN FIELD
GUTTER AND LEADERS TO MATCH EXISTING

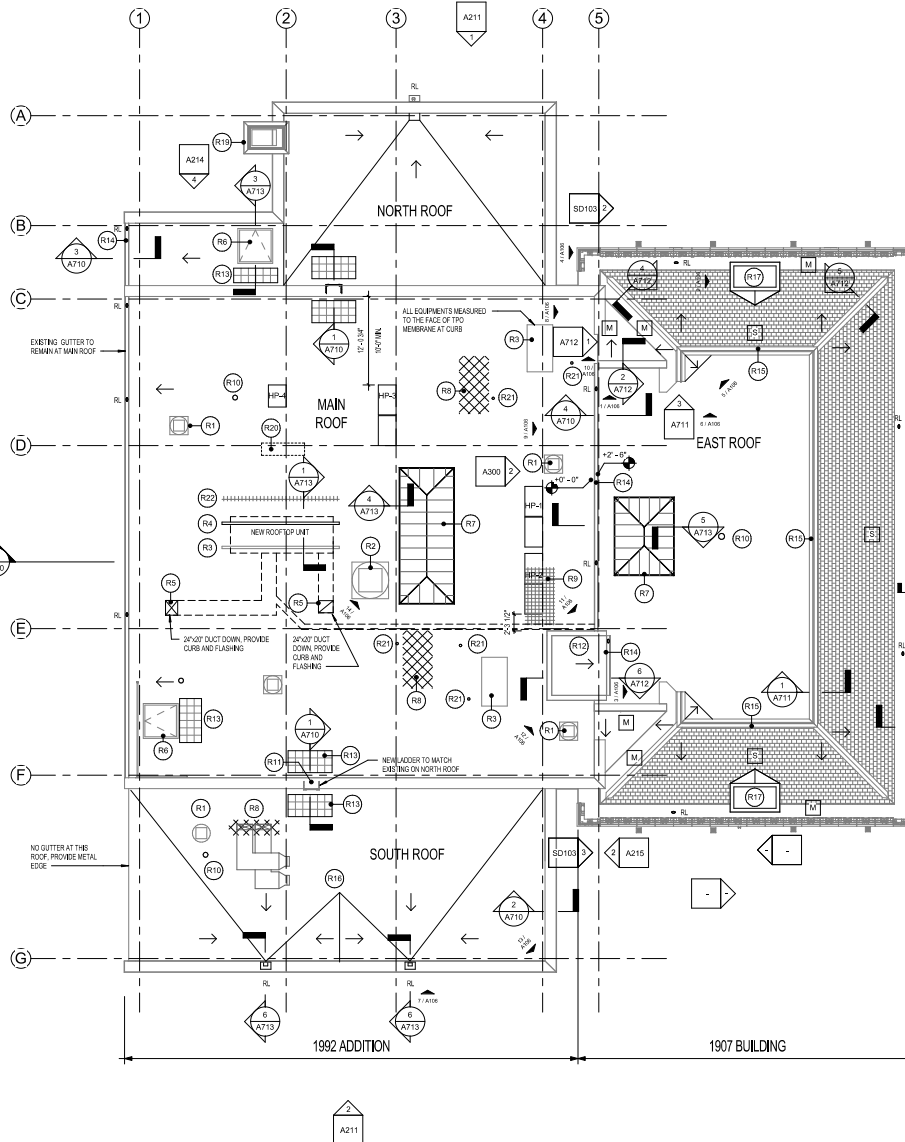
SOUTH ROOF

THREE ASSEMBLY OVER EXISTING CONCRETE DECK
THREE INSULATION TO MATCH EXISTING SLOPES. CONTRACTOR TO VERIFY SLOPES IN FIELD
PHASE WORK TO ACCOMMODATE SCHEDULING OF EQUIPMENT REMOVAL

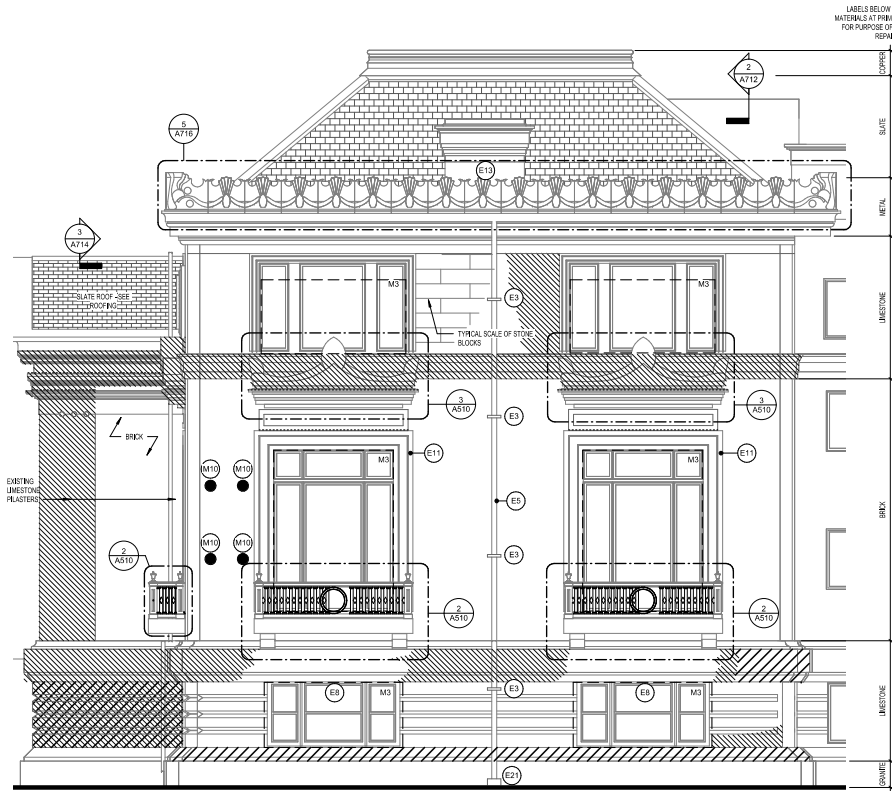
EAST ROOF

THREE ASSEMBLY WITH NEW TAPERED INSULATION OVER EXISTING WOOD DECK FOR FLAT ROOF
AND ELEVATOR OVERLAP REPAIRS TO WOOD DECK
SLATE WITH COPPER FLASHINGS AT NORTH, EAST AND SOUTH SLOPES. INCLUDE UNCLIPPING EXISTING AND WOOD DECK REPAIR
MEMBRANE LAYER FOR GUTTER. UNCLIPPING PLYWOOD SUBSTRATE
COPPER GUTTER OUTLETS AND LEADERS TO MATCH EXISTING
COPPER STANDING SEAM PARAPET BEING AT TRANSITION TO MAIN ROOF AND AT BACK SIDE OF SLATE ROOF
SKYLIGHT TO MATCH EXISTING ON RAISED CURB

104. SEE PHASING PLAN FOR REQUIREMENTS RELATIVE TO OTHER WORK.

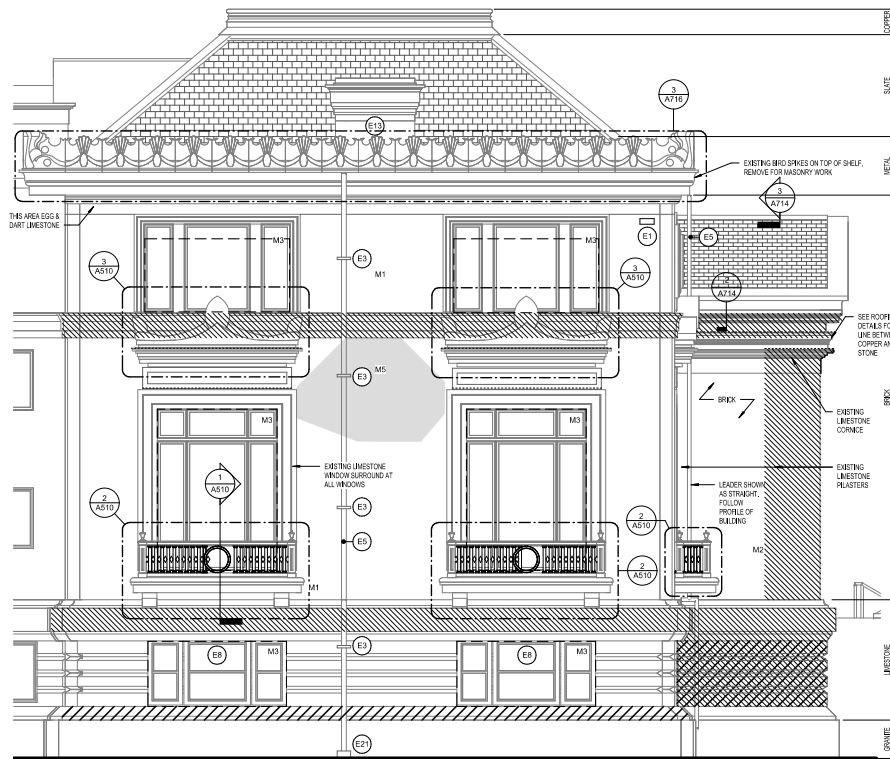


2 ROOF PLAN
1/8" = 1'-0"



1 Enlarged North Elevation (1907)
1/4" = 1'-0"

LABELS BELOW IDENTIFY EXISTING MATERIALS AT PRIMARY BUILDING FACADE. FOR PURPOSE OF CLIPPING AREA OF REPAIR SCOPE



2 Enlarged South Elevation (1907)
1/4" = 1'-0"

GENERAL NOTES - ELEVATIONS

101. ELEVATION SHEETS HAVE BEEN SEPARATED INTO OVERALL AND DETAILS DRAWINGS. 1/4" ELEVATIONS SHOW OVERALL BUILDING AND EXISTING WINDOW DESIGNATIONS. ENLARGED ELEVATIONS SHOW MATERIALS AND SCOPE OF MASONRY AND METAL RESTORATION WORK.

102. THESE DRAWINGS WERE CREATED FROM PREVIOUS DRAWINGS AND SELECT FIELD REVIEW. DIMENSIONS MAY NOT BE COMPLETELY ACCURATE. FOR ANY ITEMS REQUIRING SPECIFIC EXISTING DIMENSIONS, THE CONTRACTORS TO FIELD VERIFY CONDITIONS AND INCLUDE IN SUBMITTALS FOR ANY REQUIRED SHOP DRAWINGS.

103. PROFILES SHOWN ON THESE DRAWINGS ARE NOT DRAWN TO THE LEVEL OF DETAIL OF THE ACTUAL DETAILS, WHERE DETAILS ARE TO BE MATCHED. REFER TO ACTUAL CONDITIONS.

104. THESE ELEVATIONS ATTEMPT TO DRAW EACH MAJOR INDIVIDUAL ELEVATION SURFACE, GIVEN THE NUMBER OF RECESSES, EVERY SURFACE IS NOT DRAWN. THIS INCLUDES BOTH VERTICAL PLANES AND HORIZONTAL SHELF SURFACES, WHERE SCOPE FOR CLEANING, ETC. IS CALLED FOR. THE REQUIREMENT IS TO INCLUDE ALL SURFACES, EVEN THOSE THAT ARE NOT INCLUDED IN THE ELEVATIONS. THESE ADDITIONAL SURFACES ARE ABLE TO BE QUANTIFIED BY REVIEWING THE PLAN DETAILS. THE EXISTING WALL PROFILE, THE PHOTOS INCLUDED HERE, AND A PHYSICAL REVIEW OF THE BUILDING, CLEANING AND REPAIR REQUIREMENTS ARE TO ADDRESS CREDESSES THAT MAY BE DIFFICULT TO REACH.

105. SCOPE:
A. CLEAN EXPOSED EXTERIOR BRICK, STONE, PRE-CAST CONCRETE, GRANITE SURFACES 100% TYPE OF SOLING ARE INDICATED ON THE DRAWINGS TO ASSIST WITH IDENTIFYING LOCATIONS FOR VARIOUS TYPES OF PRODUCTS AND SMELL TIMES, AS OUTLINED IN THE SPECIFICATIONS.

B. CUT OUT AND REPOINT LIMESTONE (THIS COULD BE CAST STONE, BUT FOR PURPOSES OF THIS PROJECT THE 1907 PORTION OF THE BUILDING STONE IS CALLED "LIMESTONE") 100%. THIS INCLUDES JOINTS INTERNAL TO STONE FIELDS, AS WELL AS ALL JOINTS THAT SEPARATE LIMESTONE FROM ADJACENT BRICK OR OTHER MATERIALS.

C. OTHER REPAIR SCOPE ITEMS ARE SHOWN TO SOME EXTENT WITH GRAPHIC MARKS SHOWING QUANTITY AND LEGEND KEYS TO CLARIFY TYPE, BUT DO NOT SHOW FULL SCOPE. THIS SHOWS GENERAL AREAS OF REPAIR REQUIRED. IT IS EXPECTED THAT FOR THESE ITEMS THERE WILL BE ADDITIONAL AREAS, SO THE BASE BID IS TO INCLUDE OVERALL QUANTITIES THAT EXCEED WHAT IS SHOWN ON THESE DRAWINGS. THIS INFORMATION IS ALSO INCLUDED IN THE UNIT COSTS SECTION OF THE SPECIFICATION AND IN MASONRY RESTORATION METHODS AND PRODUCTS, WITH CRITERIA FOR QUANTITIES FIELDED OUT IN MORE DETAIL.

D. DETERMINED MORTAR JOINTS AT BRICK (1907 AND 1992 AREAS TOTAL) 3600' CRACK REPAIR AT STONE 180 LF
RUST REMOVAL: 80 SF
REPLACE SPALLED/CRACKED BRICK 80 BRICKS
GRANITE DOWNS 2 LOCATIONS
STONE PATCH 1/4" THICK 80 SF
STONE PATCH COATING 180 SF
MASONRY STAIN 80 SF

106. ROOFING ITEMS INCLUDE ALL EXTERIOR CHIMNEYS, LEADER HEADS, AND STRAPS. ALL ARE TO BE REMOVED AS PART OF ROOFING SCOPE, WITH NEW TO MATCH EXISTING LEADER STRAPS. MASONRY TO INCLUDE PATCHING HOLES WHERE ANY FASTENERS REMOVED. NOTE THAT LEADERS ARE SHOWN AS CENTRAL ON ELEVATIONS. LEADERS JOG IN AND OUT FOLLOWING PROFILE OF MASONRY. ROOFING CONTRACTOR TO PROVIDE LEADERS THAT FOLLOW PROFILE. ROOFING SCOPE ALSO INCLUDES REPLACING COPPER CORNICE AT PEDIMENT, WITH THIS ITEM PAINTED BY PAINTER, SEE DETAILS.

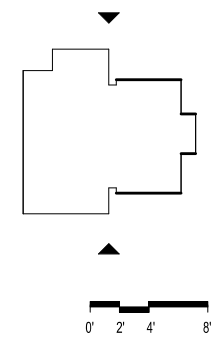
108. REFERENCES TO "1907" AND "1992" ARE INTENDED TO REFER TO THE ORIGINAL BUILDING (1907) AND THE LATER ADDITION (1992). WITH THE SEPARATING LINE BEING THE REAR OF ORIGINAL CONSTRUCTION, THE EAST PORTION OF THE BUILDING IS 1907. THE WEST IS 1992. A LINE MARKING THIS IS SHOWN ON THE PLANS, IF NOT ON ALL ELEVATION SHEETS.

REFERENCE NOTES - ELEVATIONS

- E1 EXISTING LIGHT FIXTURE WITH CONDUIT INTO BUILDING
- E2 EXISTING LIGHT BOX
- E3 LOCATION OF EXISTING OR MISSING LEADER STRAPS, ROOFING CONTRACTOR TO REMOVE EXISTING AND PROVIDE NEW PAINTED COPPER STRAPS
- E4 EXISTING ALUMINUM LEADER REMOVED. PROVIDE NEW PAINTED ALUMINUM LEADER, ROOFING CONTRACTOR TO REMOVE EXISTING LEADER AND PROVIDE PAINTED ALUMINUM LEADER. LEADER PROFILE TO FOLLOW STONE PROFILE, MATCHING EXISTING EXISTING OUTLET AND LEADER FROM ENTRY ROOF. REMOVE. PROVIDE NEW PAINTED ALUMINUM
- E5A ROOFER TO REMOVE HORIZONTAL LEADER AT GRADE AND PROVIDE PAINTED ALUMINUM LEADER
- E6 EXISTING CAST IRON POLE LIGHT FIXTURE. SEE PHOTO TO RESTORE
- E7 EXISTING STEEL LANTERN AT WINDOW. PAINTER REMOVE PAINT, PRIME AND REPAINT
- E8 EXISTING PRESSSTONE
- E9 EXISTING HOSE REE AND PRE CONNECTION
- E10 WINDOW SURROUNDING CORNICE OF LIMESTONE. CHALK LINE REINFORCED AT MASONRY OPENING
- E11 WINDOW SURROUNDING CORNICE OF PRECAST CONCRETE. CHALK LINE REINFORCED AT MASONRY OPENING
- E12 EXISTING PRESSSTONE
- E13 EXISTING CHIMNEY. CUT OUT AND REPOINT WITH
- E14 EXISTING HOLLOW METAL DOOR AND FRAME. REMOVE RUST AT BOTTOM. PRIME AND REPAINT
- E15 EXTENSION OF BOTH FRAME AND DOOR
- E16 EXISTING LIGHT FIXTURE. SEE ELECTRICAL
- E17 EXISTING BRASSATION BOX AT GROUND
- E18 ALUMINUM GUTTER TO MATCH EXISTING LENGTH AND PROFILE. PRIME OUTLET TO OUTLET AT LEADERS
- E19 EXISTING ROOF AT RAIN LEADER. ROOFER PROVIDE LEADER ONTO ROOF
- E20 ALUMINUM LEADER TO MATCH EXISTING PROFILES STRAPS
- E21 EXISTING CHAINLINK FENCE. SEE PLAN
- E22 EXISTING VENT OF PIPE
- E23 EXISTING LIGHT FIXTURE
- E24 REMOVE LOOSE STONE. OUT OPENING SQUARE AND PROVIDE GRANITE DOWNHILL APPROXIMATELY 5'X10'
- E25 EXISTING BRONZE RAILING
- E26 REPAIR BOTTOM 4" OF WOOD BRICKMOLD AT DOOR FRAME
- E27 THIS TREAD LOOSE. REMOVE AND RESET WITH MORTAR BED

LEGEND

- EXISTING BRICK STRIPES AT HORIZONTAL SURFACE. REMOVE EXISTING AND PROVIDE NEW AFTER STONE RESTORED. BRICK STRIPES IN CORNICE ARE SHOWN ON CORNICE SHEET.
- REMOVE RUST STAINING ON STONE
- M1 CARBON STAINING OF MASONRY. EXTRA CLEANING REQUIRED.
- M2 BIOLOGICAL STAINING OF MASONRY. EXTRA CLEANING REQUIRED.
- M3 CHALK JOINT - REMOVE EXISTING CHALK. CHALK BY CHALK FIB.
- M4 DETERIORATED MORTAR JOINTS - CUT OUT AND PROVIDE NEW
- M5 EXISTING SPALLED STONE - REMOVE LOOSE, THEN PATCH.
- M6 EXISTING EFFLORESCENCE. REMOVE.
- M7 EXISTING VINES. REMOVE.
- M8 EXISTING HOLE. FILL WITH MASONRY PATCH
- M9 EXISTING CRACK. REPAIR
- M10 EXISTING METAL PIECE IN MORTAR JOINT - REMOVE AND INSTALL MORTAR



LABELS BELOW IDENTIFY EXISTING MATERIALS AT PRIMARY BUILDING FACADE. FOR PURPOSE OF CLIPPING AREA OF REPAIR SCOPE

ARCHITECT

bh+a
Bargmann Hendrie + Archetype, Inc.
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617 350-0450 Tel

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**Attleboro Public Library
Building Envelope Repair &
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Capital Projects Office, 3rd Floor
77 Pine Street, Attleboro, MA 02703

PROJECT TEAM

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ELEVATOR CONSULTANT
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Barnstable, MA 02532
203 889 8229

REVISIONS

NO.	DATE	DESCRIPTION
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DRAWING TITLE

**ENLARGED
ELEVATIONS**

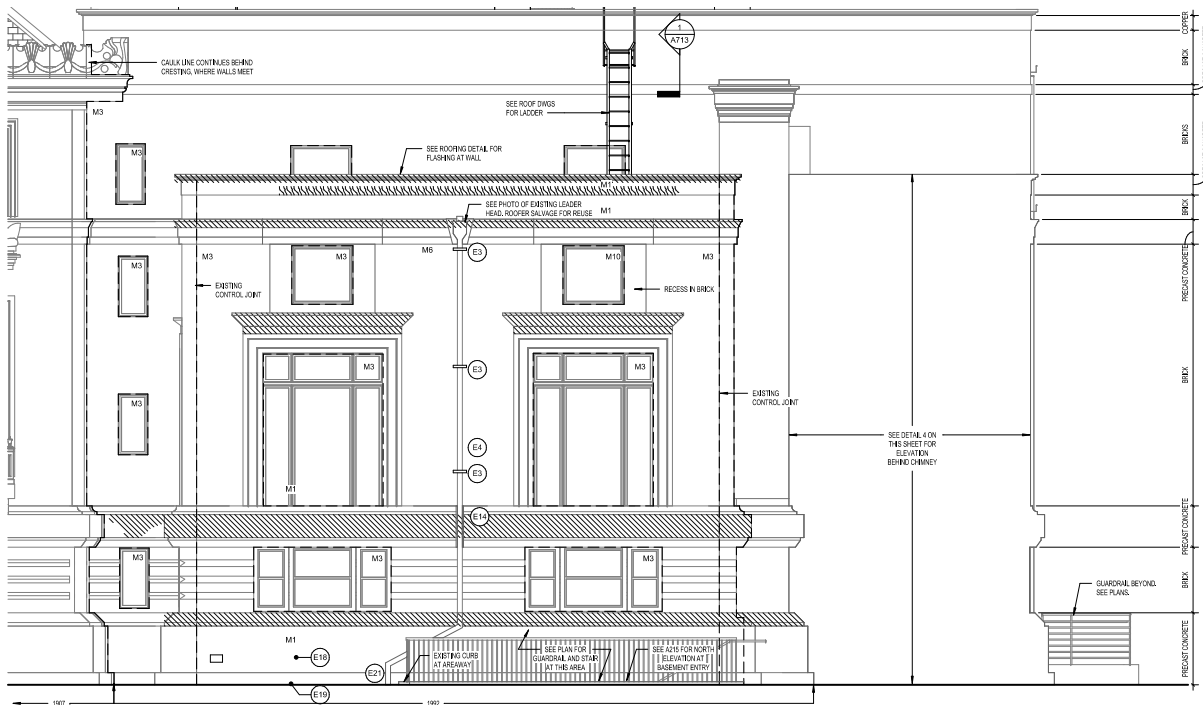
DRAWING INFORMATION

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As prepared SCALE	Author Checked by
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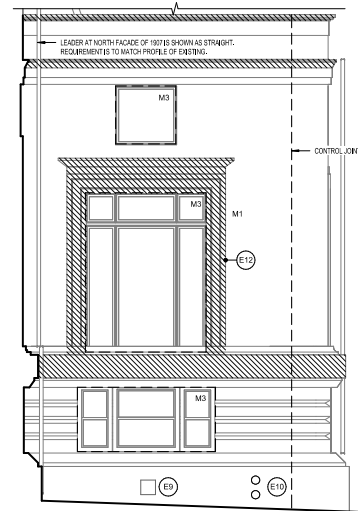
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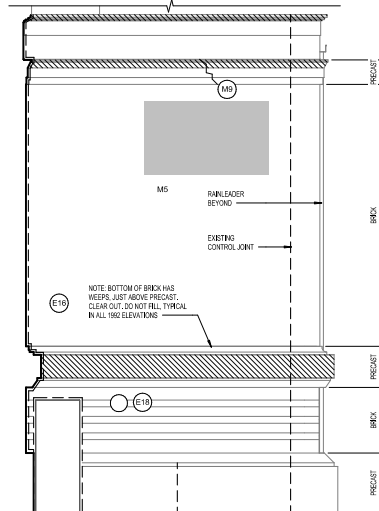
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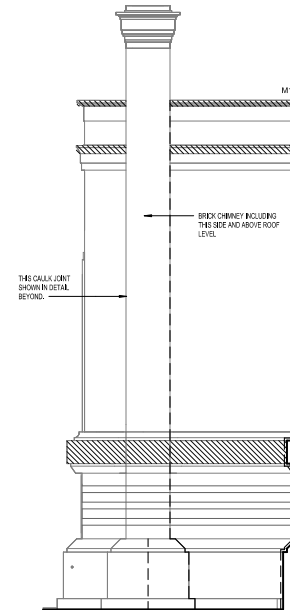
1 Enlarged North Elevation (1992)
1/4" = 1'-0"



3 Enlarged East Elevation (1992)
1/4" = 1'-0"



4 Enlarged North Elevation (1992)
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2 Enlarged West Elevation (1992)
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GENERAL NOTES & ELEVATIONS

100. ELEVATION SHEETS HAVE BEEN REPAIRED INTO OVERALL AND DETAILS DRAWINGS. 1/8" ELEVATIONS SHOW OVERALL BUILDING AND EXISTING WINDOW DESIGNATIONS. ENLARGED ELEVATIONS SHOW MATERIALS AND SCOPE OF MASONRY AND METAL RESTORATION WORK.

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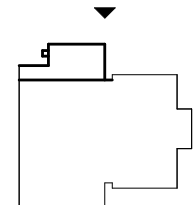
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REFERENCE NOTES & ELEVATIONS

- E1 EXISTING LIGHT FIXTURE WITH CONDUIT INTO BUILDING
- E2 EXISTING LOCK BOX
- E3 LOCATION OF EXISTING OR MISSING LEADER STRAPS, ROOFING CONTRACTOR TO REMOVE EXISTING AND PROVIDE NEW PAINTED COPPER STRAPS
- E4 EXISTING ALUMINUM LEADER REMOVED, PROVIDE NEW PAINTED ALUMINUM LEADER, ROOFING CONTRACTOR TO REMOVE EXISTING COPPER LEADER AND PROVIDE PAINTED ALUMINUM LEADER, LEADER PROFILE TO FOLLOW STONE PROFILE, MATCHING EXISTING
- E5A EXISTING OUTLET AND LEADER FROM ENTRY ROOF, REMOVE, PROVIDE NEW PAINTED ALUMINUM
- E6 ROOFER TO REMOVE HORIZONTAL LEADER AT GRADE AND PROVIDE PAINTED ALUMINUM LEADER
- E7 EXISTING CAST IRON POLE LIGHT FIXTURE, SEE PHOTO TO RESTORE
- E8 EXISTING STEEL LUTER WINDOW, PAINTER REMOVE PAINT, PRIME AND REPAINT
- E9 EXISTING PRESSURIZED
- E10 EXISTING HOSE REE AND PIRE CONNECTION
- E11 WINDOW SURROUNDINGS CONSISTS OF LIMESTONE, CAULK LINE IDENTIFIED AT MASONRY OPENING
- E12 WINDOW SURROUNDINGS CONSISTS OF PRECAST CONCRETE, CAULK LINE IDENTIFIED AT MASONRY OPENING
- E13 LIMESTONE CHIMNEY, CUT OUT AND REPAIR WITH
- E14 EXISTING RECESS IN MASONRY FOR RAINLEADER
- E16 EXISTING HOLLOW METAL DOOR AND FRAME, REMOVE RUST AT BOTTOM, PRIME AND REPAINT EXISTING OF BOTH FRAME AND DOOR
- E18 EXISTING LIGHT FIXTURE, SEE ELECTRICAL
- E19 EXISTING BRASSATION BOX AT GROUND
- E20 ALUMINUM GUTTER TO MATCH EXISTING LENGTH AND PROFILE, PRIME GUTTER TO OUTLET AT LEADERS
- E21 EXISTING BOOT AT RAIN LEADER, ROOFER PROVIDE LEADER ONTO BOOT
- E22 ALUMINUM LEADER TO MATCH EXISTING PROVIDING STRAPS
- E23 EXISTING CHAINLINK FENCE, SEE PLAN
- E24 EXISTING VENT OF PIPE
- E25 EXISTING LIGHT FIXTURE
- E27 REMOVE LOOSE STONE, CUT OPENING SQUARE AND PROVIDE GRANITE OUTCROP APPROXIMATELY 2'X2'
- E28 EXISTING BRONZE RAILING
- E29 REPAIR BOTTOM 4" OF WOOD BRICKMOLD AT DOOR FRAME
- E30 THIS TREAD LOOSE, REMOVE AND RESET WITH MORTAR BED

LEGEND

- EXISTING BRICK SPINES AT HORIZONTAL SURFACE, REMOVE EXISTING AND PROVIDE NEW AFTER STONE RESTORED, BRICK SPINE ON CORNICE ARE SHOWN ON CORNICE SHEET.
- REMOVE RUST STAINING ON STONE
- M1 CARBON STAINING OF MASONRY, EXTRA CLEANING REQUIRED.
- M2 BIOLOGICAL STAINING OF MASONRY, EXTRA CLEANING REQUIRED.
- M3 CAULK JOINT - REMOVE EXISTING CAULK, CAULK BY CAULK FIB.
- M4 DETERIORATED MORTAR JOINTS - CUT OUT AND PROVIDE NEW
- M5 EXISTING SPALLLED STONE - REMOVE LOOSE, THEN PATCH.
- M6 EXISTING EFFLORESCENCE, REMOVE.
- M7 EXISTING WEBS, REMOVE.
- M8 EXISTING HOLE, FILL WITH MASONRY PATCH
- M9 EXISTING CRACK, REPAIR
- M10 EXISTING METAL TYPE IN MORTAR JOINT - REMOVE AND INSTALL MORTAR



0' 2' 4' 8'

ARCHITECT

bh+a
Bargmann Hendrie + Archetype, Inc.
9 Channel Center Street
Boston, MA 02210
617 350-0450 Tel

PROJECT NAME

**Attleboro Public Library
Building Envelope Repair &
Mechanical System Upgrade**

74 North Main Street
Attleboro, MA 02703

CLIENT

City of Attleboro

Capital Projects Office, 2nd Floor
77 West Street, Attleboro, MA 02703

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ABAC Consulting Engineering
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Worcester, MA 01886

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Needham, MA 02462
617 527 3800

ELEVATION CONSULTANT

8 SQUARE ENGINEERING
189 N Brook Street
Barnstable, MA 02706
203 889 8329

REVISIONS

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DRAWING TITLE

**ENLARGED
ELEVATIONS**

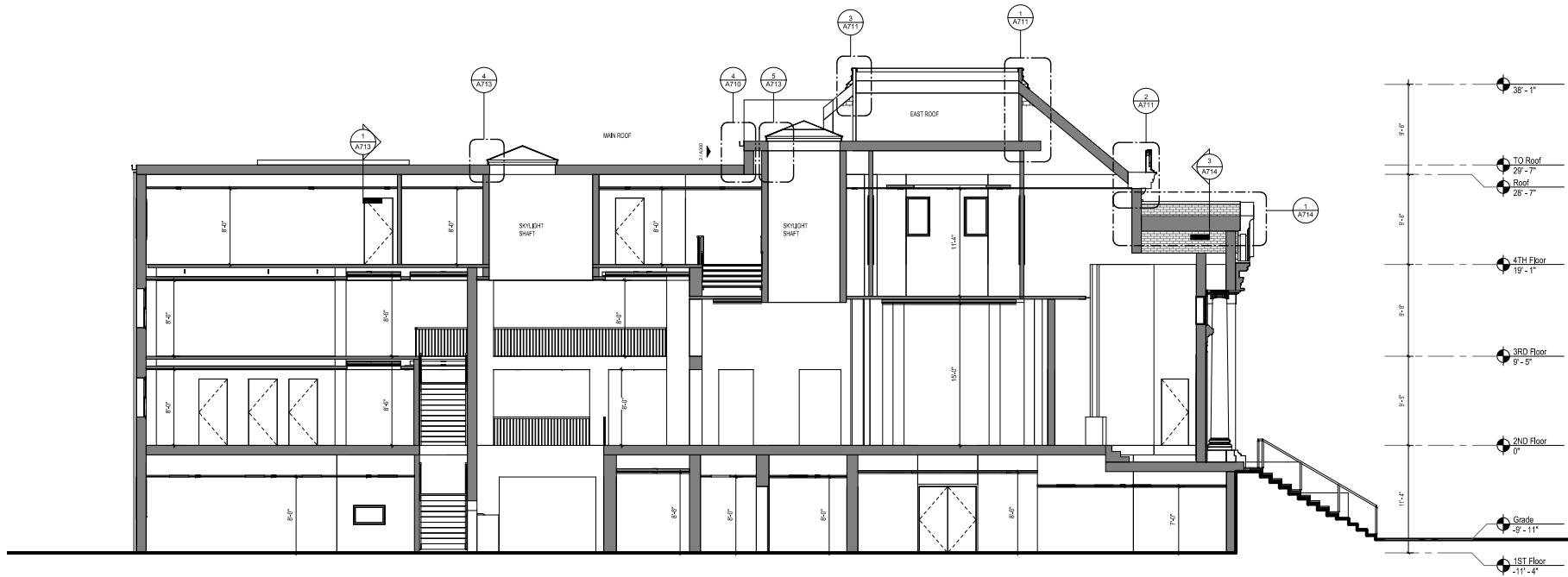
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2020/01/20	PROJECT: [Signature]

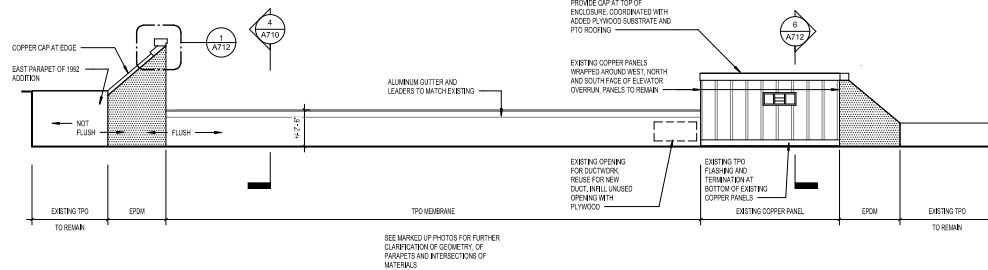
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A214

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1 Building Section
3/16" = 1'-0"



2 ENLARGED ELEVATION AT VERTICAL TRANSITION BETWEEN MAIN ROOF AND EAST ROOF
1/4" = 1'-0"

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Boston, MA 02210
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Building Envelope Repair &
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Attleboro, MA 02703
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City of Attleboro

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Stamford, CT 06902
203.889.8029

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DATE

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BUILDING SECTION

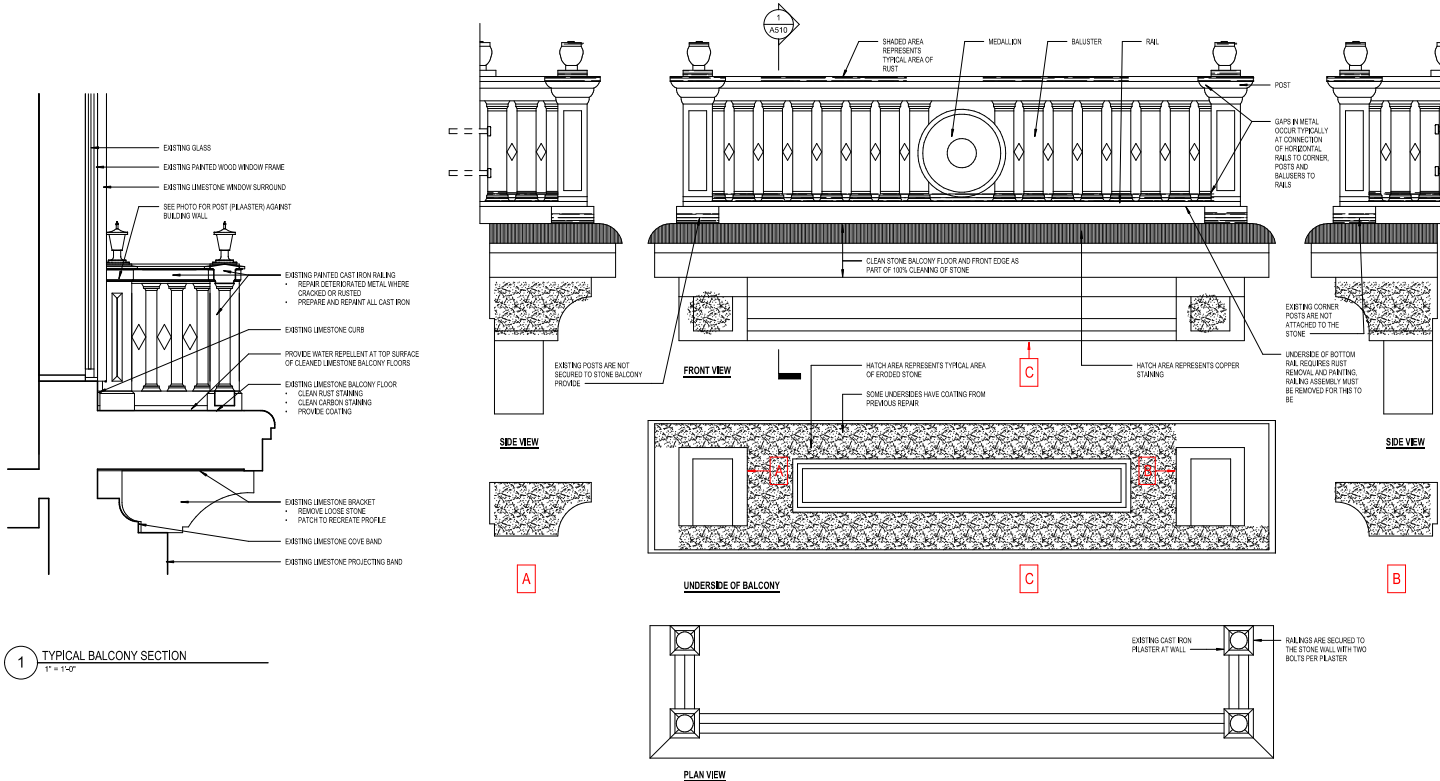
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DATE OF ISSUE
100% Construction Documents
DATE OF ISSUE
SCALE
PROJECT

DRAWING NUMBER

A300

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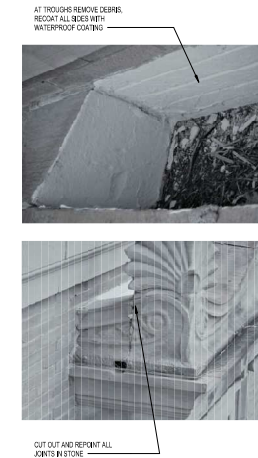


EXISTING RAILING SYSTEM AND ANCHORS TO BE REMOVED AND REPLACED WITH STAINLESS STEEL AND ANCHORS OF SAME DIAMETER. CONDITION OF EXISTING WALL SUBSTRATE IS TO BE EVALUATED FOLLOWING REMOVAL OF EXISTING ANCHORS. ONCE STRUCTURAL INTEGRITY OF EXISTING WALL AT ANCHORAGE LOCATIONS IS VERIFIED, NEW ANCHORS ARE TO BE EMBEDDED INTO EXISTING BEARING WALL WITH HILTI HIT RE 309 VS IN ACCORDANCE WITH ANCHORING. OR APPROVED EQUAL CONTRACTOR TO PROVIDE STRUCTURAL ENGINEER WITH HILTI DIAMETER AND SPACING SUCH THAT REQUIRED EMBEDMENT MAY BE DETERMINED AND ANCHORAGE LOAD CAPACITY MAY BE VERIFIED TO BE ADEQUATE, TYPICAL.

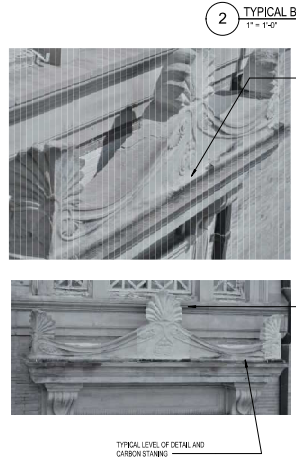
FOR FINISH, ASSUME 1/2" DIAMETER X 12" LONG STAINLESS STEEL ANCHORS WITH 12" MIN EMBEDMENT.

GENERAL NOTES - EXTERIOR DETAILS

100. THESE DETAIL SHEETS ARE INTENDED TO PROVIDE INFORMATION THAT SUPPLEMENTS THAT SHOWN ON THE ELEVATION SHEETS. THESE ENLARGED DETAILS AND PHOTOS ARE MORE ACCURATE IN THE DETAIL OF THE BUILDING ELEMENTS. SOME DETAILS ARE LABELED 'TYPICAL' FOR PURPOSES OF THE DRAWINGS. CONDITION OF MATERIALS DO VARY BY LOCATION, SEE THE OVERALL QUANTITIES TO BE INCLUDED.
101. THE ITEM MARKED 'STONE CORNER' REFERS ONLY TO THE CORNER OVER THE 2ND FLOOR WINDOWS, AND NOT OTHER PROJECTING BAYS AND ORNAMENT. THESE ITEMS RECEIVED PRIOR RESTORATION WORK. AT WHICH TIME SOME OF THE CENTER PROJECTING ELEMENTS WERE REPLACED WITH CAST ELEMENTS THAT WERE SECURED WITH PIN. THIS IS REPORTED TO HAVE BEEN THREE OF THE SIX. THE INTENT IS TO REMOVE ALL LOOSE STONE AND REBRAD TO ORIGINAL PROFILES. THERE IN ADDITION TO AREAS ALREADY ERODED.
102. SEE MATERIALS TESTING RESULTS. IN PROJECT MANUAL FOR HAZARDOUS MATERIALS.
103. DETAIL AND OTHER DRAWINGS DO NOT INCLUDE ALL DETAIL AND EXACT DIMENSIONS. PHOTOGRAPHS ARE PROVIDED TO CLARIFY LEVEL OF DETAIL.
- SCOPE OF WORK CAST IRON BALCONY RAILINGS:
- 60 METAL RESTORATION SPECIALIST REMOVE BOLTS THAT HOLD BALCONIES IN PLACE. THERE ARE TWO BOLTS EACH OF THE PLASTER AGAINST THE WALL, NEXT TO THE WINDOW FOUR BOLTS PER BALCONY. RAILING ASSEMBLY ARE CONNECTED TO EACH OTHER WITH EXPOSED FASTENERS AND BLIND PIN. TAKE TO SHOP FOR REPAIRS.
- STEP PAINT FROM CAST IRON DOWN TO BARE METAL TO EXPOSE DETAIL AND TO REMOVE PAINT THAT HAS BEEN APPLIED OVER PLASTER. NOTE THAT THERE ARE MULTIPLE LAYERS OF PAINT. REMOVE RUST AND SCALING. RUST IS MOSTLY AT THE BOTTOM RAIL. THE BOTTOM OF PINNETS AND POSTS AND AT THE 'U' SHAPED UNDERSIDE OF THE BOTTOM RAIL. THIS UNDERSIDE WAS NEVER PAINTED AND IS THE CAUSE OF MUCH OF THE RUST.
- REPAIR METAL INCLUDING FILING OF CRACKS AND REPLACING PREVIOUS INAPPROPRIATE REPAIRS. SEE ELEVATIONS FOR LOCATIONS OF SPECIFIC REPAIRS.
- BASE SCOPE FOR METAL REPAIR:
- ONE 2' X 1/2" PIECE OF BOTTOM RAIL.
- FOUR LOCATIONS REMOVE INAPPROPRIATE PRIOR BALCONY FACE. PROVIDE NEW CAST IRON, ATTACH MECHANICALLY.
- METAL FILLER: ALL BEAMS (4'X12") BETWEEN HORIZONTAL RAILS AND CORNER POSTS.
- PRIME AND PAINT: INCLUDING UNDERSIDE OF BOTTOM RAIL. FIN PAINTER PROVIDE STAINLESS STEEL PLATES UNDER CORNER POSTS AND POSTS AT BUILDING PROFILE OF PLATE TO MATCH PROFILES OF POSTS. THICKNESS TO MATCH EXISTING GAP. ASSUME 3/16" RERAIL. RAILINGS TO BUILDING WALL WITH NEW STAINLESS STEEL SHOWN.
- SCOPE OF WORK CAST IRON LAMP POSTS:
- DISASSEMBLE. EACH POST COMPRISED OF FOUR PIECES OF CAST IRON MECHANICALLY ATTACHED, PLUS THE LAMP. TAKE TO SHOP FOR REPAIRS.
- ELECTRICIAN TO DISCONNECT WIRING.
- REMOVE PAINT AND RUST (SEE CAST IRON BALCONY RAILING ASSEMBLY DESCRIPTION).
- BEAM BETWEEN PIECES HAVE 1/4" - 1/2" GAPS. REASSEMBLE AFTER CLEANING, ELECTRICAL FIBER TO RECONNECT.



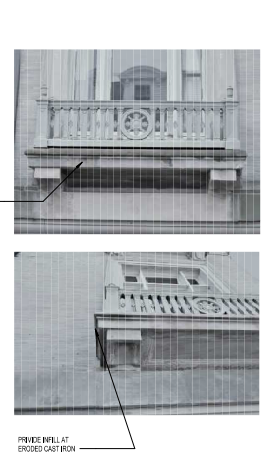
3 CORNICE ABOVE WINDOW (TYPICAL FOR ALL LOCATIONS)
1" = 1'-0"



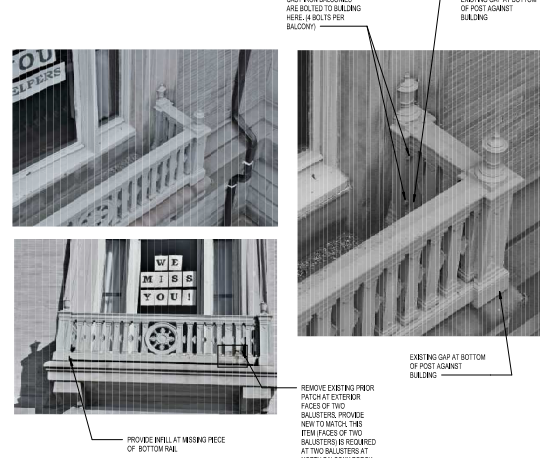
2 TYPICAL BALCONY AND CAST IRON RAILING
1" = 1'-0"



4 "ATTLEBORO" LETTERING STONE
1" = 1'-0"



5 TYPICAL BALCONY CONDITION
1" = 1'-0"



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Westford, MA 01886
ELEVATOR CONSULTANT
RFB Engineering
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Quincy, MA 01906

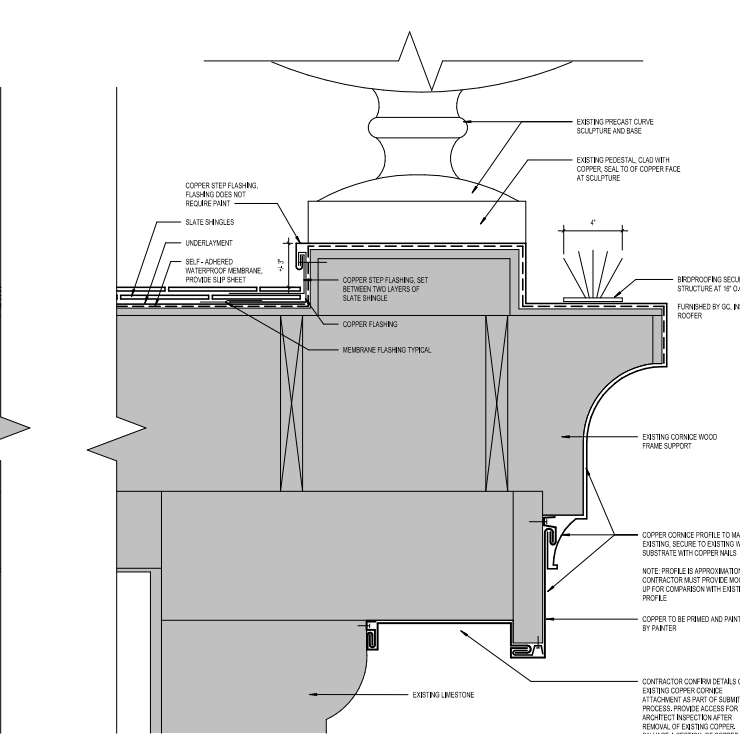
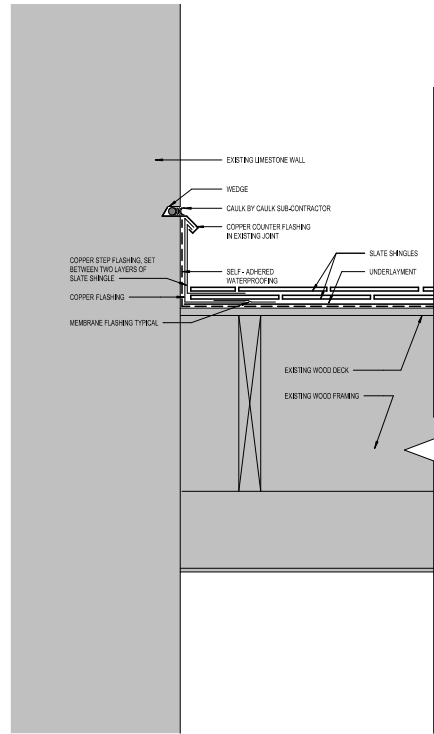
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DRAWING TITLE
EXTERIOR DETAILS

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DATE: 01/20/2020
SCALE: AS SHOWN
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]
PROJECT NO.: 2019000004
FILE NAME: A510

DRAWING NUMBER
A510

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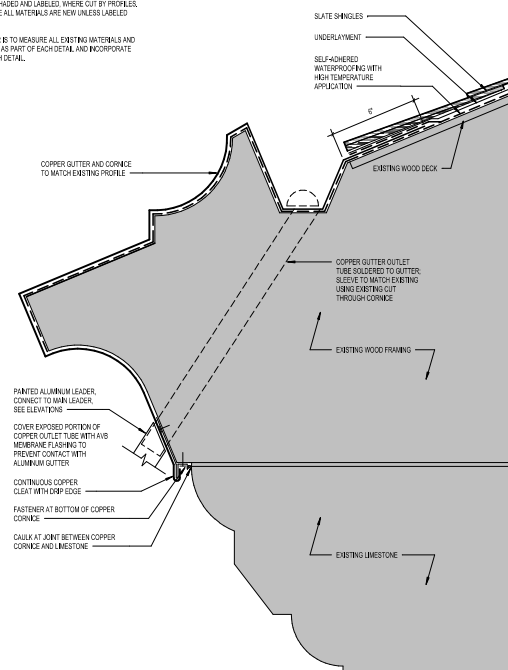
GENERAL NOTES ROOF DETAILS

101. GENERAL ROOFING SCOPE AND DEMO OF EXISTING ROOFING ARE SHOWN ON ROOF PLAN AND ROOF DEMO PLAN. DETAIL SHEETS INDICATE EXISTING CONSTRUCTION TO REMAIN AND NEW WORK. THIS DOES NOT INCLUDE DETAILS OF WHAT IS REMOVED.

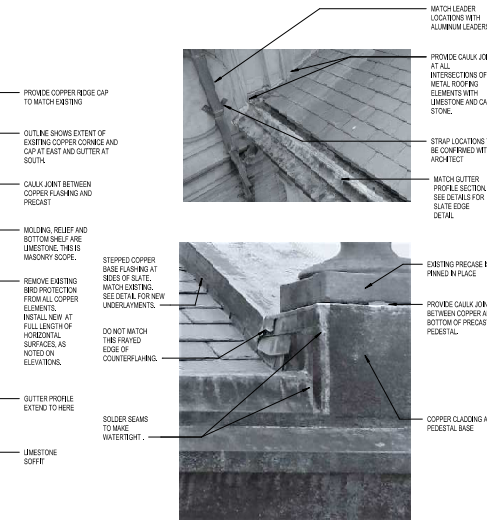
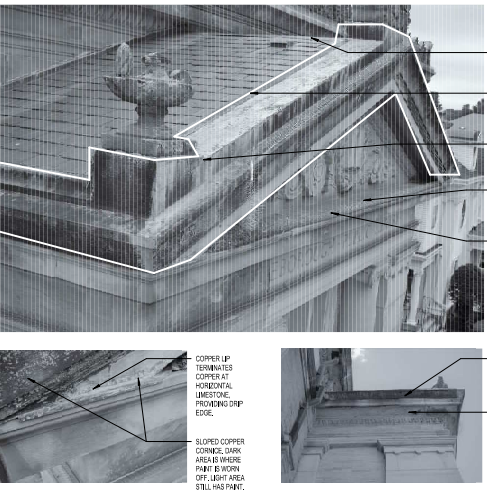
102. EXISTING MATERIALS ARE SHOWN AND LABELED, WHERE CUT BY PROFILES, THE CONTRACTOR IS TO ASSUME ALL MATERIALS ARE NEW UNLESS LABELED "EXISTING".

103. THE ROOFING CONTRACTOR IS TO MEASURE ALL EXISTING MATERIALS AND ASSEMBLIES SHOWN TO REMAIN AS PART OF EACH DETAIL, AND INCORPORATE INTO SHOP DRAWINGS FOR EACH DETAIL.

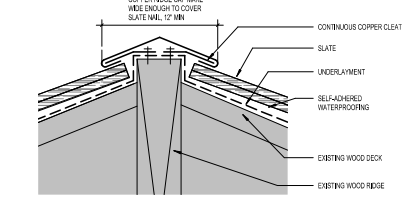
THE DRAWINGS SHOW BOTH EXISTING MATERIALS AND NEW MATERIALS. DETAILS RENDER EXISTING CONSTRUCTION AS SHADDED, AND LABELS AS SUCH. THE CONTRACTOR SHOULD ASSUME MATERIALS ARE NEW UNLESS LABELED AS "EXISTING".



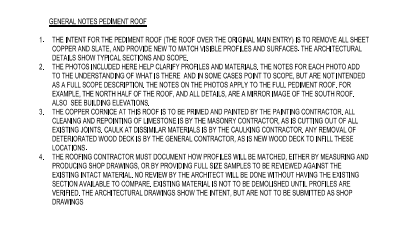
1 DETAIL SECTION AT PEDIMENT ROOF



2 DETAIL SECTION AT PEDIMENT ROOF GUTTER

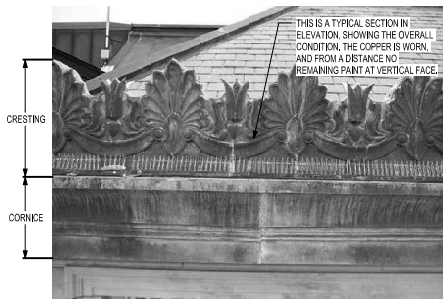


3 DETAIL SECTION AT PEDIMENT RIDGE



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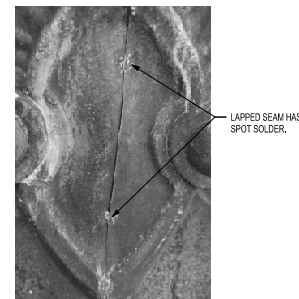
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100% Construction Documents	Author: JH
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300% 02	Reviewed by: JH
PROJECT: 17-0000	FILE: A714.dwg



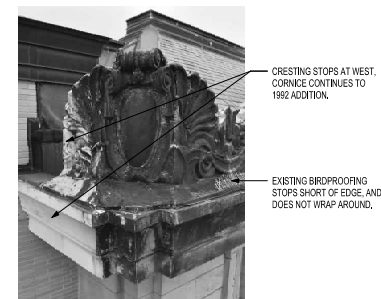
ELEVATION AT TYPICAL CORNICE AND CRESTING



DETAIL AT BASE OF CRESTING



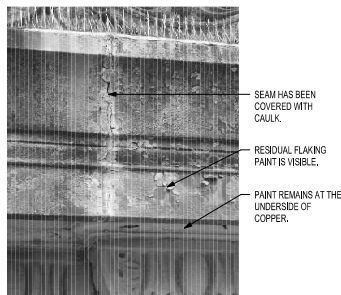
DETAIL OF SEAM AT CRESTING



SOUTHWEST CORNER OF CRESTING



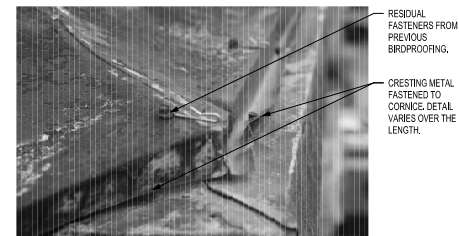
VIEW OF UNDERSIDE OF CORNICE AT SOUTHWEST CORNER



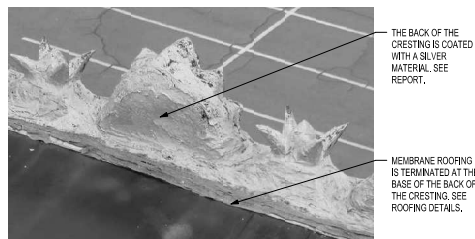
DETAIL AT TYPICAL CORNICE SEAM



UNDERSIDE OF CORNICE AT SOUTHEAST CORNER



DETAIL AT TOP OF CORNICE SHELF AND BASE OF CRESTING



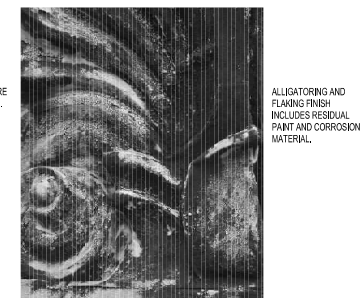
BACKSIDE OF CRESTING AT SLATE ROOF GUTTER



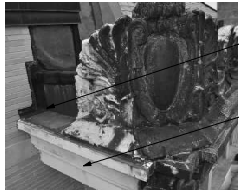
DETAIL OF CRESTING SEAM WITH PRIOR REPAIRS



DETAIL AT OPEN SEAM IN SHEET COPPER AT CRESTING



DETAIL OF FINISH OF CRESTING



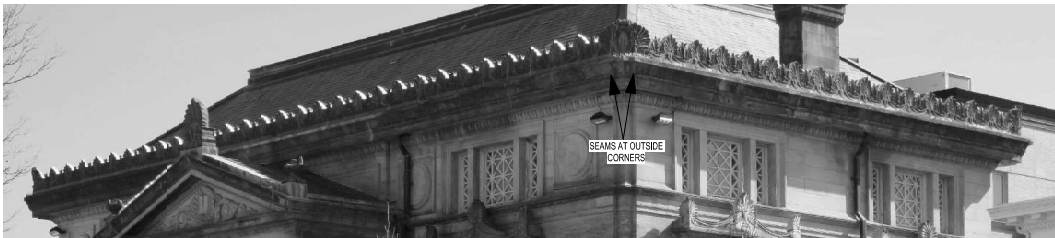
2 WEST SIDE, SOUTH END
NTS



3 SOUTH ELEVATION
NTS



4 EAST ELEVATION (SOUTH HALF)
NTS



5 EAST ELEVATION (NORTH HALF AND NORTH ELEVATION)
NTS



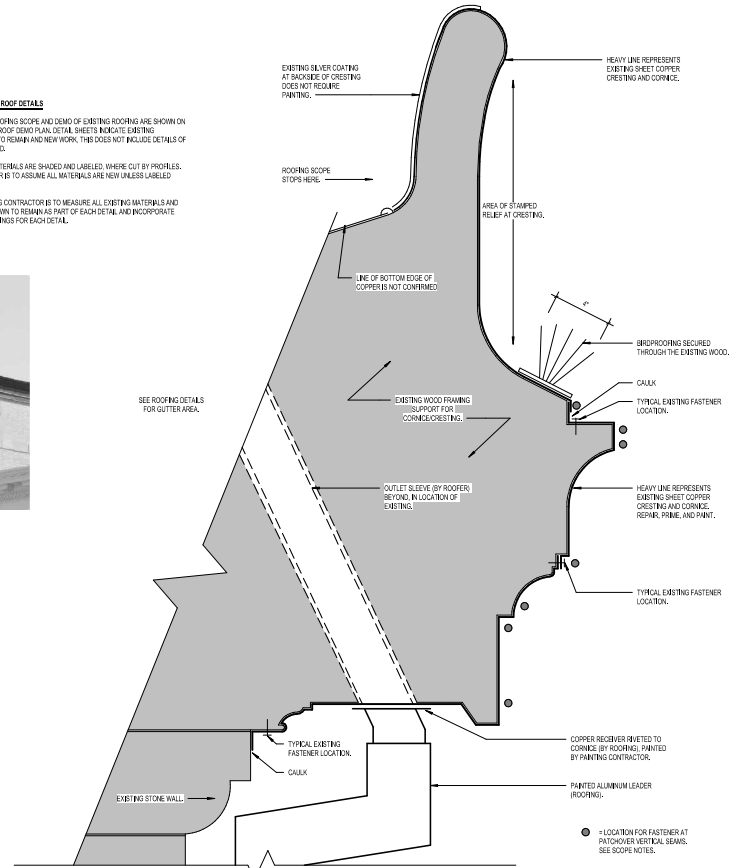
6 WEST ELEVATION (NORTH END)
NTS

GENERAL NOTES ROOF DETAILS

101. GENERAL ROOFING SCOPE AND DEMO OF EXISTING ROOFING ARE SHOWN ON ROOF PLAN AND ROOF DEMO PLAN. DETAIL SHEETS INDICATE EXISTING CONSTRUCTION TO REMAIN AND NEW WORK. THIS DOES NOT INCLUDE DETAILS OF WHAT IS REMOVED.
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GENERAL NOTES CORNICE AND CRESTING

101. THE CORNICE AND CRESTING ARE SHOWN ON THE ENLARGED BUILDING ELEVATIONS, WITH A DETAIL INCLUDED IN THE ROOFING DETAILS SHEET. THE DRAWINGS ARE BASED ON PREVIOUS DRAWINGS, AND MAY NOT BE EXACTLY TO SCALE. THE DETAIL ON THE DRAWINGS IS APPROXIMATED.
101. THE INTENT OF THE WORK IS TO RETAIN THE FULL EXISTING CORNICE AND CRESTING, REPAIR AREAS OF DAMAGE THAT CALL TO MATERIALS WITH TENTION, RESECURE THE CORNICE, AND RECOAT THE VISIBLE SURFACES. THE INTENT IS NOT TO MAKE THE ENTIRE CORNICE AND CRESTING LIKE NEW.
102. THE PHOTOGRAPHS INCLUDED HERE ARE TO SHOW SOME OF THE TYPICAL AND ATYPICAL EXISTING CONDITIONS. TO ASSIST THE CONTRACTOR IN UNDERSTANDING THE SCOPE OF WORK, THE REQUIRED SCOPE OF WORK IS DESCRIBED BELOW. FOR QUANTIFIABLE FORM, QUANTITIES ARE INCLUDED, AS ARE UNIT COSTS.
103. THE EXISTING COPPER CORNICE AT THE PEDIMENTED ROOF OVER THE 1907 ENTRY IS NOT PART OF THE RESTORATION WORK. THAT GETS NEW COPPER CORNICE BY ROOFING FIBS.
102. SCOPE OF WORK FOR COPPER CORNICE AND CRESTING
- REMOVE OF EXISTING BACKGROUND PAINT COATINGS AND CORROSION PRODUCTS. PAINT REMAINS PRIMARILY AT UNDERSIDE, BUT ALL SURFACES REQUIRE SOME CLEANING. SEE DETAIL PHOTOS.
- REMOVE OF BRD PROTECTION AND RELATED FASTENERS, PLUG HOLES WITH COPPER NAILS. BASE QUANTITY 200.
- REMOVE ANY IRON FASTENERS AND REPLACE WITH COPPER PLATED STAINLESS STEEL DIP SCREWS. BASE QUANTITY 100.
- RESECURE COPPER CORNICE TO ARMATURE BY PROVIDING NEW SCREWS EVERY 16" ACROSS THE LENGTH OF THE CORNICE. LOCATION ON PROFILE AS SHOWN ON THE DRAWING. BASE QUANTITY 100 SCREWS.
- COVER EXISTING VERTICAL JOINTS IN CORNICE WITH 1" STRIP OF PAINTED COPPER.
- FILL OPEN SEAMS OR GAPS AT CRESTING GREATER THAN 1/16" FILL WITH SOLDER OR METAL FILLER. BASE QUANTITY 10 LBS. (100 LBS. ASSUMED 1' LONG).
- PRIME AND PAINT BY PAINTING FIBS. NO PRIME AND PAINTING OF BACK SIDE WITH SILVER COATING IS REQUIRED.
- BRD PROTECTION. PROVIDE AT FULL LENGTH OF CORNICE.



1 SECTION @ CORNICE AND CRESTING
3" = 1'-0"

ARCHITECT

bh+a

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617.350.0450 Tel

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**EXTERIOR DETAILS
CORNICE AND
CRESTING**

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As Issued	Author:
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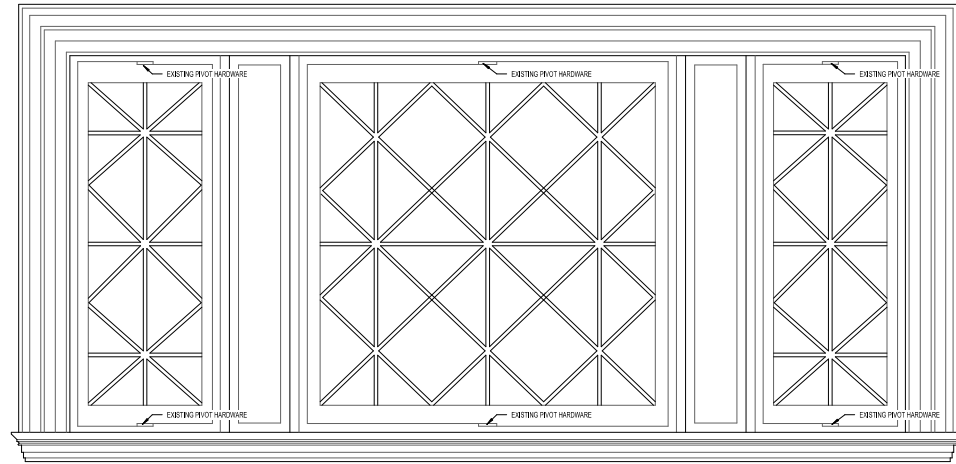
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EXTERIOR WINDOW SCOPE

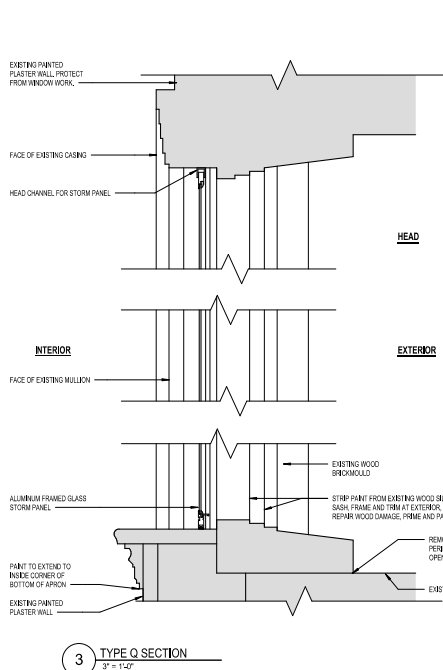
- STRIP ALL EXTERIOR PAINT AND PAINT SASHFRAME EDGES WHERE SASHFRAME CLOSURES.
- REMOVE CALK FROM WOODSASH JOINT.
- REMOVE GLAZING PUTTY. (NOTE: WINDOW TYPE Q DO NOT APPEAR TO HAVE GLAZING PUTTY).
- REPAIR DETERIORATED WOOD AT SILL, BOTTOMS OF BRICKMOLDS, BOTTOMS OF SASH (RAIL & STILES) W/ EPOXY PRODUCTS.
- PROVIDE GLAZING PUTTY.
- PRIME & PAINT.
- CALK PERIMETER W/WELET JOINT.
- PROTECT EXTERIOR STONE FROM DAMAGE OR PAINT SPATTER.

INTERIOR WINDOW SCOPE

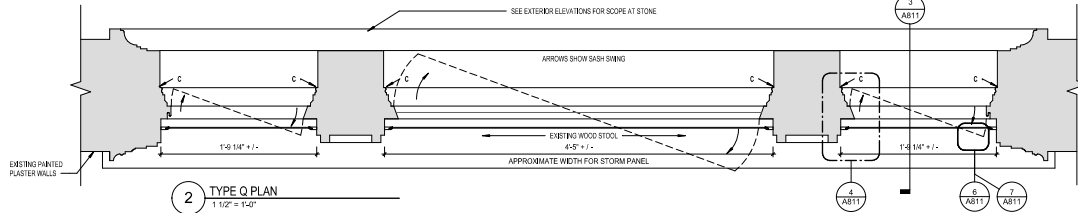
- STRIP PAINT FROM INTERIOR OF SASH. STRIPPING NOT REQUIRED AT FRAME, STOOL, APRON OR CASING.
- REMOVE EXISTING STORM PANELS AND STORM PANEL HARDWARE. REMOVE ANY HOOK + EYE OR OTHER LATCH HARDWARE. THE ONLY HARDWARE TO REMAIN IS THE PIVOT HARDWARE/METAL WEATHERSTRIPPING AND METAL DRIP EDGE.
- FILL ALL HOLES WHERE HARDWARE IS REMOVED.
- REPAIR WOOD. (NOTE: EPOXY REPAIR AT WOOD WINDOWS IS EXPECTED TO BE LIMITED TO EXTERIOR FACES).
- FILL WINDOWS SHUT WITH REBUILT WALLS.
- PRIME AND PAINT SASH PREP AND PAINT ALL OTHER INTERIOR ELEMENTS OF WINDOWS.
- PROTECT STORM PANELS.
- PROTECT WALLS AND OTHER MATERIALS.



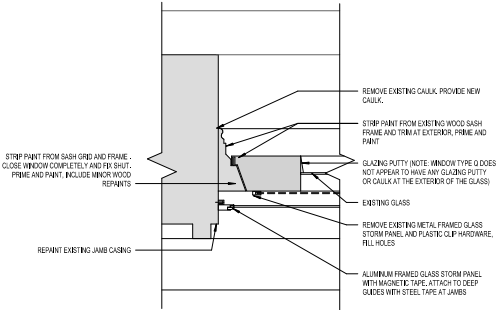
1 TYPE Q INTERIOR ELEVATION
1 1/2" = 1'-0"



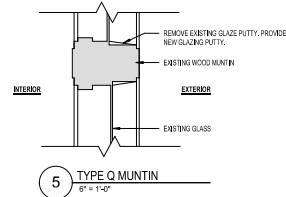
3 TYPE Q SECTION
3" = 1'-0"



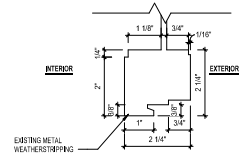
2 TYPE Q PLAN
1 1/2" = 1'-0"



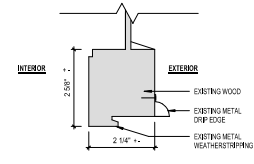
4 PLAN DETAIL AT JAMB, WINDOW TYPE Q
3" = 1'-0"



5 TYPE Q MUNTIN
6" = 1'-0"



6 TYPE Q PLAN @ SASH STILE
6" = 1'-0"



7 TYPE Q SECTION @ BOTTOM RAIL OF SASH
6" = 1'-0"

LEGEND
C = EXISTING CALK JOINT AT WOOD / MASONRY
= EXISTING MATERIAL

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DRAWING TITLE
WINDOW DETAILS

DRAWING INFORMATION

10/31/2023
DATE OF ISSUE
100% Construction Documents
DESIGN BY
As Issued
SCALE
300/00
PROJECT #
024-000000-01
FILE NAME

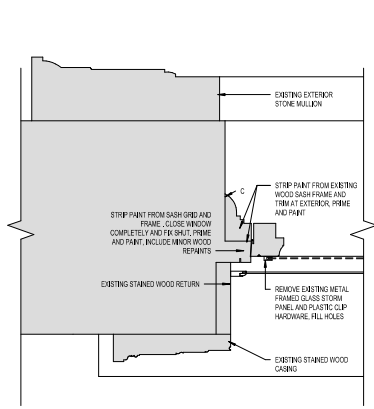
DRAWING NUMBER

A811

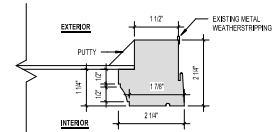
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NOTES ON TYPE N WINDOWS

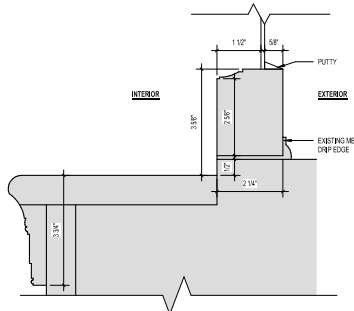
- WINDOW SCOPE IS THE SAME AS TYPE Q WITH THE FOLLOWING EXCEPTIONS
- INTERIOR WOODWORK IS STAINED RATHER THAN PAINTED, AND MATCHES OTHER WOODWORK IN THE ROOM. RE-STAINING IS LIMITED TO INTERIOR SASH AND STOOLS. DO NOT STRIP STAIN AT SASH AND STOOL. SCOPE IS TO INFILL WORK AREAS.
- EXTENDERS OF THIS WINDOW DO HAVE GLAZING PUTTY, REMOVE EXISTING, PROVIDE NEW GLAZING PUTTY TO BE PAINTED BY PAINTER.



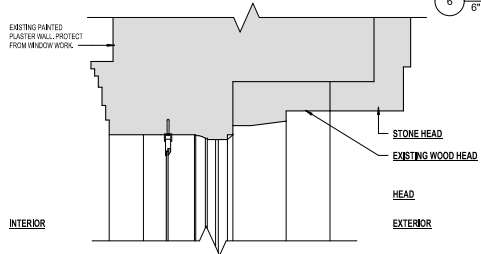
3 PLAN DETAIL AT JAMB,
WINDOW TYPE N
3' = 1'-0"



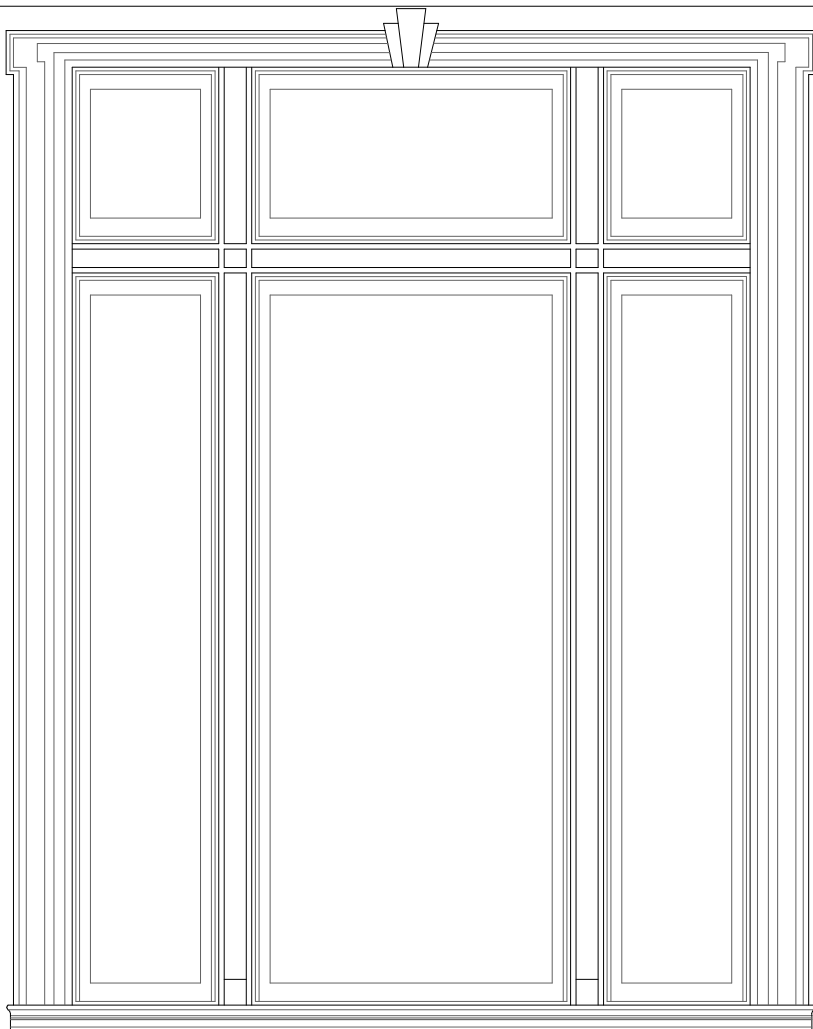
5 TYPE N PLAN @ SIDE RAIL OF
SASH
6" = 1'-0"



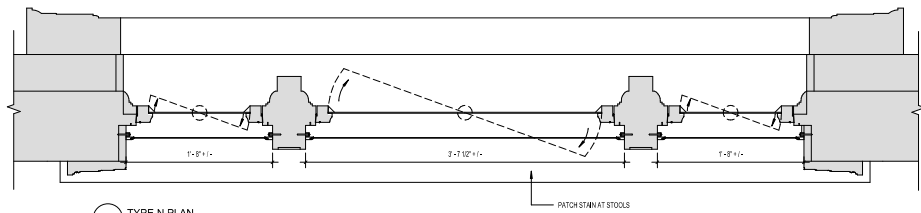
6 TYPE N SECTION @ BOTTOM
RAIL OF SASH
6" = 1'-0"



4 TYPE N SILL SECTION
3' = 1'-0"



1 WINDOW ELEVATION TYPE N
1 1/2" = 1'-0"



2 TYPE N PLAN
1 1/2" = 1'-0"

THE DRAWINGS SHOW BOTH EXISTING MATERIALS AND NEW MATERIALS. DETAILS
PREFER EXISTING CONSTRUCTION AS SHOWN, AND LABEL AS SUCH. THE
CONTRACTOR SHOULD ASSUME MATERIALS ARE NEW UNLESS LABELED AS
EXISTING.

LEGEND
C = EXISTING GASKET JOINT AT WOOD / MASONRY
= EXISTING MATERIAL

ARCHITECT
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Bargmann Hendrie + Archetype, Inc.
9 Channel Center Street
Boston, MA 02210
617.350.0450 Tel

PROJECT NAME
**Attleboro Public Library
Building Envelope Repair &
Mechanical System Upgrade**

74 North Main Street,
Attleboro, MA 02703

CLIENT
City of Attleboro

Capitol Projects Office, 2nd Floor
77 West Street, Attleboro, MA 02703

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Stamford, CT 06902
203.889.8029

REVISIONS	
1	
2	
3	
4	
5	DATE

DRAWING TITLE
WINDOW DETAILS

DRAWING INFORMATION

10/31/2020
DATE OF ISSUE
100% Construction Documents
DESIGN BY
As Issued Author
SCALE
3/32"=1'-0" PROJECT BY

DRAWING NUMBER

A812

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